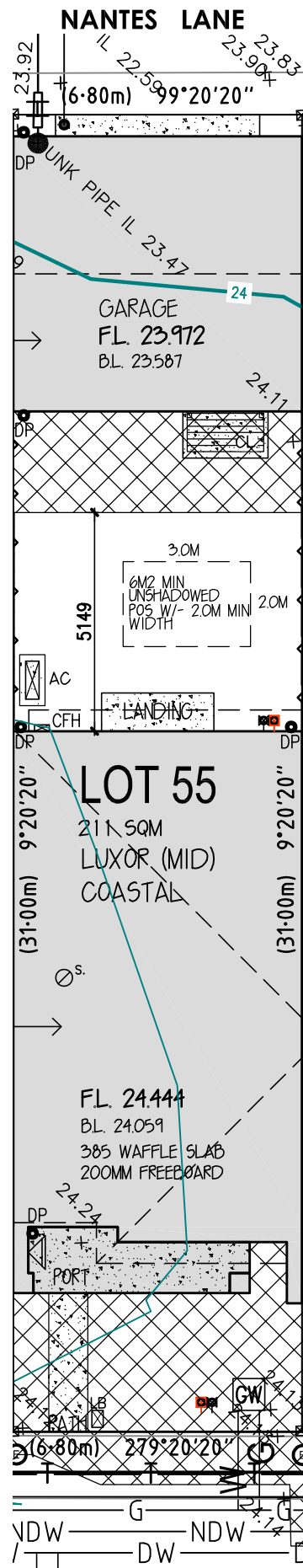


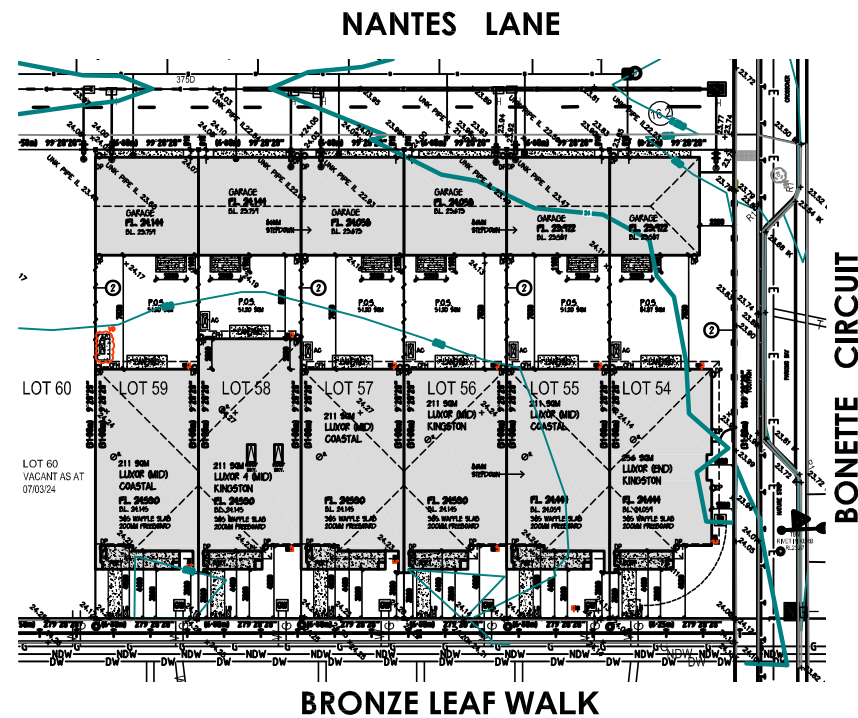
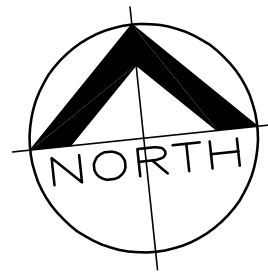
BRONZE LEAF WALK
SITE PLAN

1:150



BRONZE LEAF WALK
SHADOW DIAGRAM

1:150



KEY PLAN

1:500

SHADOW LEGEND:



NOTE: IF THE SEWER INSPECTION COVER IS TO BE DRIVEN OVER BY VEHICLES OR IS SUBJECT TO LOADING THEN THE COVER IS TO BE REPLACED BY A HEAVY DUTY COVER

BOLLARDS MAY BE REQUIRED FOR GAS METER PROTECTION TO BE CONFIRMED BY RELEVANT AUTHORITIES DURING GAS METER INSTALLATION

LOT 55:	211 M2
SITE COVERAGE:	63.03%
PERMEABLE:	31.87%

RECYCLED WATER PROVISION:
 -PROVIDE 2NO. RECYCLED WATER TAPS (TO GARDEN - 1NO. FRONT, 1NO. REAR)
 -ALL RECYCLED TAPS TO BE PURPLE PIPEWORK & TO AS 3500
 -1NO. TO LAUNDRIES
 -RECYCLED WATER ONLY TO WC'S
 -REFER RELEVANT PIC FOR FURTHER INFORMATION

FENCING ALONG THE SIDE BOUNDARY ABUTTING A ROAD MUST NOT BE CONSTRUCTED WITH SOLID MATERIALS FOR MORE THAN 65% OF THE LENGTH OF THE SIDE STREET BOUNDARY AND THE REMAINING LENGTH OF THE SIDE STREET BOUNDARY MUST NOT BE CONSTRUCTED WITH MATERIALS THAT ARE MORE THAN 85% SOLID

SLHC 12PM SHADOW NOTE:

P.O.S. TO EACH LOT - MIN. 6M2 WITH MIN. DIMENSION OF 2M PROVIDED WITH DIRECT SUNLIGHT AT 12PM

HARD LANDSCAPE LEGEND:



PLANS MUST BE READ IN CONJUNCTION WITH LANDSCAPING PLANS BY 'LANDSCAPE BY DESIGNS'

DESIGN: **LUXOR - MID**
 FACADE: **ESSENTIAL SPEC COASTAL** CEILING: **25L, 25U**
 GARAGE: **DOUBLE** LOCATION: **REAR**

SITE PLAN & SHADOW DIAGRAM
SCALE 1:150

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LEGEND 1:

- DOWN PIPE LOC.
- ⊗ LETTER BOX
- ⊗ METER & NBN LOCATION
- ⊗ RECYCLED & WATER TAPS
- ⊗ ELECTRICAL PIT
- ⊗ CONDENSER SPLIT
- ⊗ DEEPEMED REBATES C.O.S.
- ⊗ 1900H TREATED PINE TIMBER PALING FENCING
- ⊗ 1900H CAPPED TIMBER PICKET FENCE WITH EXPOSED POSTS (85% TRANSPARENCY)
- ⊗ 200X75 TIMBER SLEEPER LANDSCAPING RETAINING (200H MAX U.N.O) COS
- ⊗ 2 TIMBER PLINTH TO FENCE BASELINE AS REQUIRED (200H MAX U.N.O) COS

GENERAL NOTES:

SCRAPE NOTES:
 SCRAPE AND SPREAD FILL OVER BUILDING AREA TO LEVEL WHERE REQUIRED. REFER ENGINEERING FOR FILL COMPACTION NOTES.
 EXCAVATIONS FOR 2 STOREY BUILDINGS TO START 1.5m FROM EDGE OF SLAB TO ALLOW FOR SCAFFOLDING.
 GRADE COURTYARD BENCH LEVELS TOWARDS CENTRE FOR TEMPORARY STORMWATER RELIEF DURING CONSTRUCTION

DRAINAGE NOTES:
 REFER ENGINEERING FOR DRAINAGE INFORMATION

FENCING/LANDSCAPING NOTE:
 HARD PAVING:
 PAVEMENTS MAX. 1:8 FALL
 DRIVEWAYS MAX. 1:5 FALL
 ADDITIONAL STEPS - C.O.S.
RETAINING NOTE:
 ANY TIMBER RETAINING IS APPROX. & TO BE C.O.S.

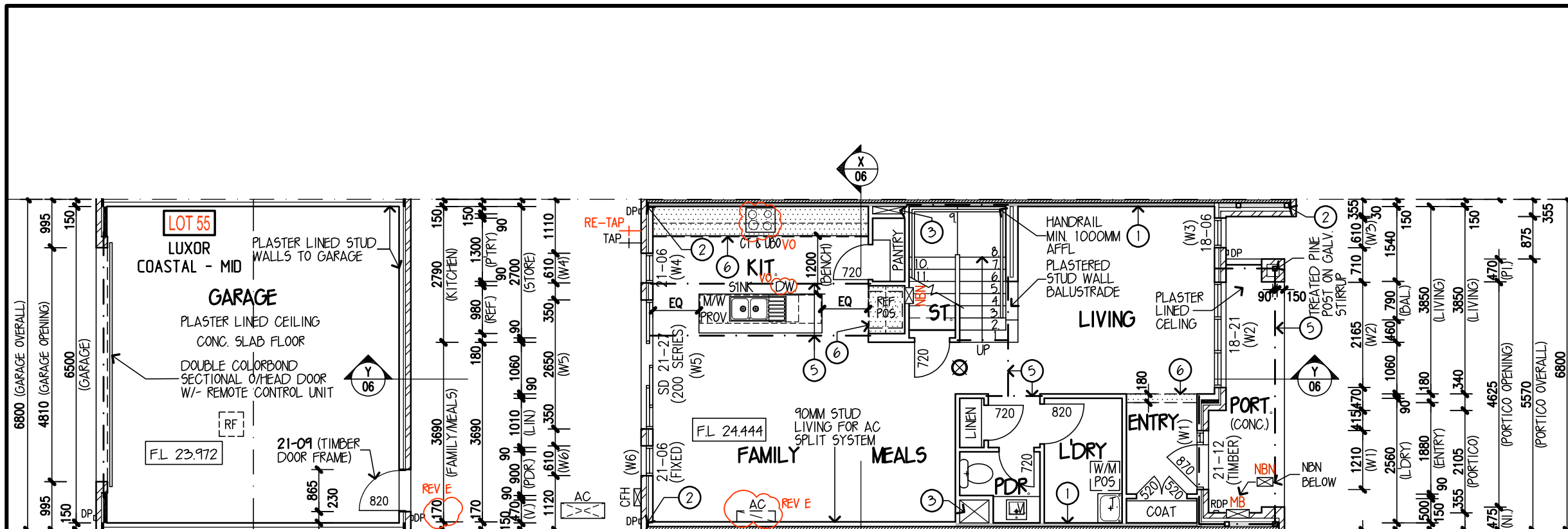
LEVELS TO: AUST HEIGHT DATUM



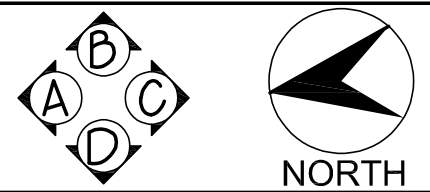
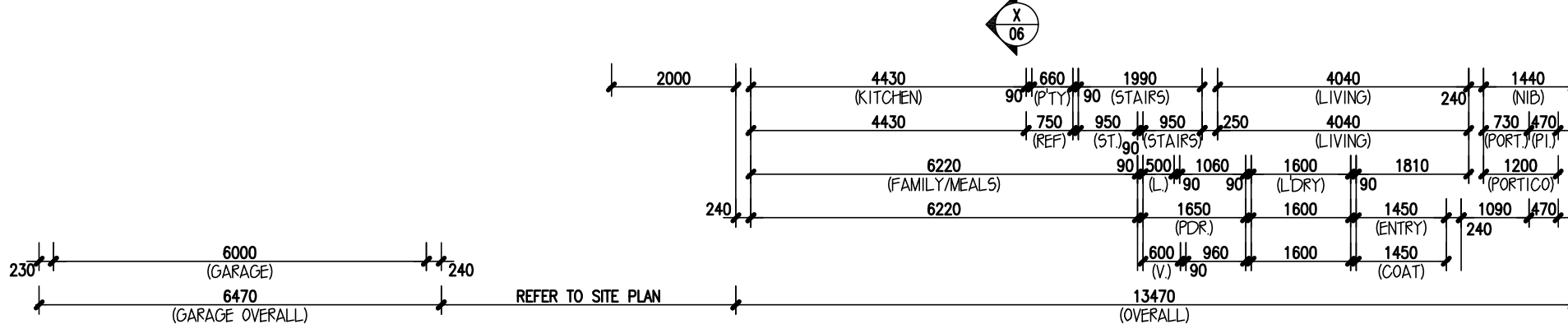
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 Telephone 03 9915 5555 Fax 03 9222 5144
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OWNER: TOWN LIVING BY METRICON
 LOT 55 BRONZE LEAF WALK, NARRE WARREN SOUTH
 ESTATE: SILVERWELL (STAGE 9A)

MASTER VER:	-	DATE:	-
HOUSE INST:	-	DATE:	-
GENERAL INST:	-	DATE:	-
PROJECT REV:	REV F	DATE:	13.11.24
DRAWN:	MITEK	CHECK:	-
SHEET:	01		



NOTES:
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
 EXTERNAL WALLS ARE DIMENSIONED TO FRAME ONLY (EXCLUDING BRICK VENEER) UNLESS OTHERWISE INDICATED.
 PROVIDE LIFT OFF HINGES TO ALL WC'S WHERE THE HINGED DOORS DO NOT HAVE 1200MM CLEAR ACCESS TO THE PAN AS PER N.C.A 3.8.3.3.
 CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM UNLESS OTHERWISE NOTED.
 PROVIDE 90X45 JAMB STUDS TO ALL INTERNAL DOORS & WINDOW OPENINGS UNLESS OTHERWISE NOTED ON ENGINEER'S SPECIFICATIONS.
WINDOW CODES:
 W2 - DENOTES WINDOW 2
 21-18 - DENOTES WINDOW HT. / WINDOW WIDTH
 SMOKE ALARMS TO BE INTERCONNECTED WITH EACH OTHER.
PASSAGE DOORS:
 2100 HIGH WHERE CEILING HEIGHTS ARE 2550MM OR LESS.
 2340 HIGH WHERE CEILING HEIGHTS ARE 2700MM UNLESS OTHERWISE SPECIFIED.
ROBE SLIDING DOORS:
 2100 HIGH WHERE CEILING HEIGHTS ARE 2550MM
 2300 HIGH WHERE CEILING HEIGHTS ARE 2700MM
ROBE SHELVING:
 PROVIDE NOGGINGS TO ROBE SIDES FOR SHELVING SUPPORT. REFER INTERNAL DETAILS FOR HEIGHTS.
 ESTIMATOR TO ORDER APPROPRIATE WIDTH WINDOW REVEALS & SPLIT DOOR JAMBS TO COVER ANY ADDED PLY BRACING. REFER ENGINEERING.
 SERVICE METERS ARE INDICATIVE ONLY. CONFIRM ON SITE LOCATION OF ALL SERVICES.
 REFER STRUCTURAL PLAN FOR STEEL COLUMN LAYOUT



DESIGN: **LUXOR - MID**
ESSENTIAL SPEC
 FACADE: **COASTAL** CEILING: **25L, 25U**
 GARAGE: **DOUBLE** LOCATION: **REAR**

GROUND FLOOR PLAN
 SCALE: 1:100

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WINDOW NOTES: (REFER TO ENERGY REPORT)

TYPE	WERS CODE	GLAZING
AWNING/FIXED	SSW-010-01	CLEAR SINGLE
SLIDING DOOR	SSW-006-01	CLEAR SINGLE

- DRAWING LEGEND:**
- 240MM BRICK VENEER WALL WITH 90MM STUDS & 40MM CAVITY
 - WALL UNDER STAIR TO BE BUILT AFTER STAIR
 - HATCH INDICATES 90MM FRAME
 - HATCH INDICATES 70MM FRAME
 - BOUNDARY LINE
 - BULKHEAD
 - (OB5) OBSCURE GLAZED OVERLOOKING WINDOWS
 - (PR) PLASTER REVEAL

FRAMER TO PROVIDE FLOOR JOISTS CUT TO SIZE FOR BULKHEADS

TEMPORARILY CONNECT FRONT TAP/S AT METER LOCATION DURING CONSTRUCTION. CAP AND RELOCATE TO HOUSE POSITION AS NOMINATED FOR HANDOVER

LOT 55	ENERGY EFFICIENCY
NOTE: DESIGN MODIFICATIONS MAY BE NECESSARY TO ACHIEVE REQUIRED ENERGY RATING, DEPENDING ON SITING.	
PROVIDED IN THE PLANS:	
DOOR SEALS - Sill seals to external hinged doors (incl. garage internal access door)	
WINDOWS - Windows that meet AS 2047 meet sealed req.	
DRAFT EXCLUSION - Weather wrap with taped horizontal and vertical joints. Sealed gaps around windows and external doors.	
EXHAUST FANS - To be sealed (excluding kitchen rangehood).	
CEILING INSULATION - R4.0 Glasswool batts; excludes Garage, Outdoor Room/Verandah and Portico and First Floor floor system areas	
EXTERNAL WALLS - R2.0 Glasswool batts, including party wall between house and garage. No insulation to garage walls	
FLOOR INSULATION - R4.0 Glasswool batts; to floor area above Garage, Outdoor Room/Verandah and Portico ONLY.	

LOT 55	AREAS:		
DWELLING	SIZE	EXTERNAL	SIZE
GRD FLR:	82.04 SQM	GARAGE:	44.00 SQM
FIRST FLR:	80.44 SQM	PORTICO:	6.96 SQM
		BALCONY:	7.06 SQM
SUBTOTAL:	162.48 SQM	TOTAL:	220.50 SQM
	17.49 SQR		23.74 SQR

NOTES LEGEND (GRD FLR):

- ① "HEB 5000" HEBEL POWERPANEL DUAL ZERO B'DRY WALL SYSTEM, COMPRISING OF 10MM PLASTERBOARD INTERNALLY, 70X45 STUD WALL, R20 INSULATION BATT'S, HARDIE WRAP WEATHER BARRIER, 50MM HEBEL PANELS AND CAVITY IN BETWEEN DESIGN AND INSTALLED TO MANUFACTURER'S RECOMMENDATION AND SPECIFICATION. PROVIDE ADDITIONAL LAYER OF PLASTERBOARD WHERE INDICATED.
- ② 200MM MIN MINERAL WOOL BATT (TO EACH PROPERTY)
- ③ 200MM MIN MINERAL WOOL BATT (TO EACH PROPERTY)
- ④ EXTENT OF FIRST FLOOR FRAME ABOVE
- ⑤ CONCEALED STRUCTURAL BEAMS. REFER ENGINEER'S DETAILS
- ⑥ 245MM DEEP PLASTERED BULKHEAD
- ⑦ CAPPED COLD WATER POINT @1950 AFL
- ⑧ TILED SHOWER BASE

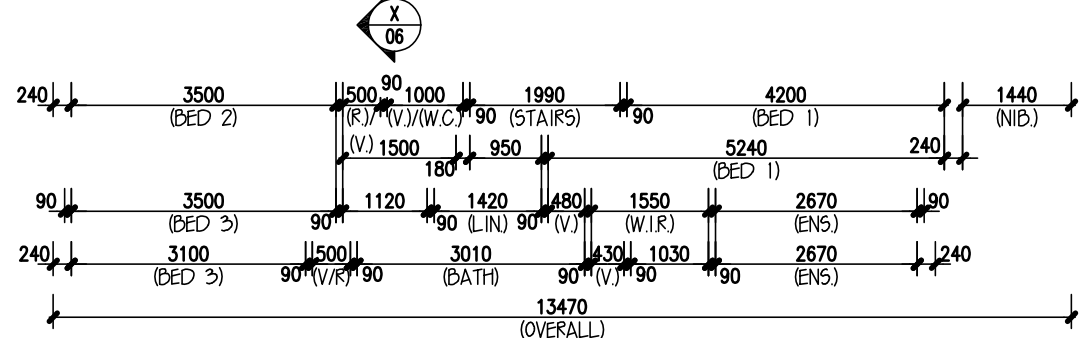
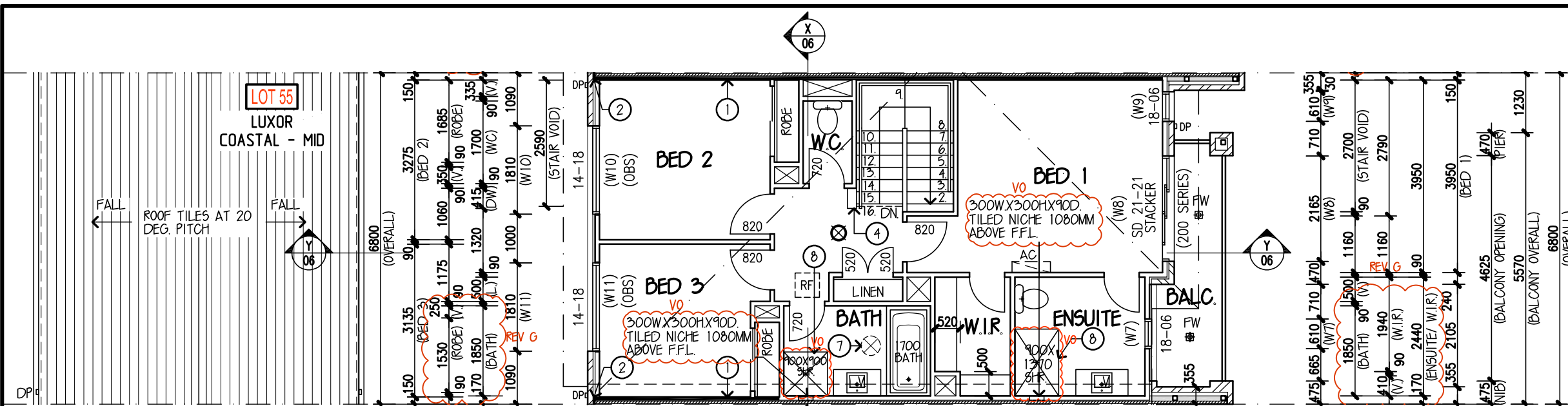
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metricron

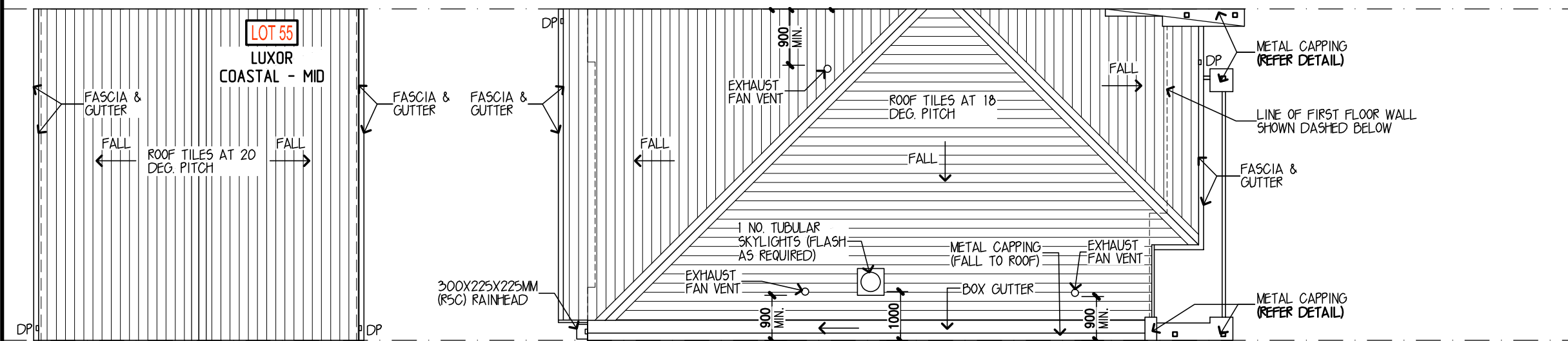
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OWNER: TOWN LIVING BY METRICON
 LOT 55 BRONZE LEAF WALK, NARRE WARREN SOUTH
 ESTATE: SILVERWELL (STAGE 9A)

MASTER VER:	-	DATE:	-
HOUSE INST:	-	DATE:	-
GENERAL INST:	-	DATE:	-
PROJECT REV:	REV F	DATE:	13.11.24
DRAWN:	MITE/KWW	CHECK:	-
		SHEET:	02

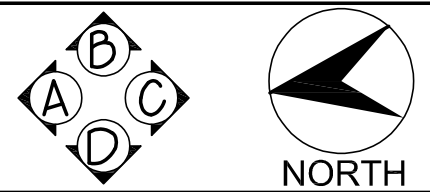


FIRST FLOOR PLAN



ROOF PLAN

NOTES:
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
 EXTERNAL WALLS ARE DIMENSIONED TO FRAME ONLY (EXCLUDING BRICK VENEER) UNLESS OTHERWISE INDICATED.
 PROVIDE LIFT OFF HINGES TO ALL WC'S WHERE THE HINGED DOORS DO NOT HAVE 1200MM CLEAR ACCESS TO THE PAN AS PER N.C.A 3.8.3.3.
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 PROVIDE 90X45 JAMB STUDS TO ALL INTERNAL DOORS & WINDOW OPENINGS UNLESS OTHERWISE NOTED ON ENGINEER'S SPECIFICATIONS.
WINDOW CODES:
 W2 - DENOTES WINDOW 2
 21-18 - DENOTES WINDOW HT. / WINDOW WIDTH
 SMOKE ALARMS TO BE INTERCONNECTED WITH EACH OTHER.
PASSAGE DOORS:
 2100 HIGH WHERE CEILING HEIGHTS ARE 2550MM OR LESS.
 2340 HIGH WHERE CEILING HEIGHTS ARE 2700MM UNLESS OTHERWISE SPECIFIED.
ROBE SLIDING DOORS:
 2100 HIGH WHERE CEILING HEIGHTS ARE 2550MM
 2300 HIGH WHERE CEILING HEIGHTS ARE 2700MM
ROBE SHELVING:
 PROVIDE NOGGINGS TO ROBE SIDES FOR SHELVING SUPPORT.
 REFER INTERNAL DETAILS FOR HEIGHTS.
 ESTIMATOR TO ORDER APPROPRIATE WIDTH WINDOW REVEALS & SPLIT DOOR JAMBS TO COVER ANY ADDED PLY BRACING. REFER ENGINEERING.
 SERVICE METERS ARE INDICATIVE ONLY. CONFIRM ON SITE LOCATION OF ALL SERVICES.
 REFER STRUCTURAL PLAN FOR STEEL COLUMN LAYOUT



DESIGN: **LUXOR - MID**
ESSENTIAL SPEC
 FACADE: **COASTAL** CEILING: **25L, 25U**
 GARAGE: **DOUBLE** LOCATION: **REAR**
1ST FLR & ROOF PLANS
 SCALE: 1:100

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OWNER: **TOWN LIVING BY METRICON**
LOT 55 BRONZE LEAF WALK, NARRE WARREN SOUTH
ESTATE: SILVERWELL (STAGE 9A)

MASTER VER:	-	DATE:	-
HOUSE INST:	-	DATE:	-
GENERAL INST:	-	DATE:	-
PROJECT REV:	REV F	DATE:	13.11.24
DRAWN:	MTE/KWW	CHECK:	-
		SHEET:	03

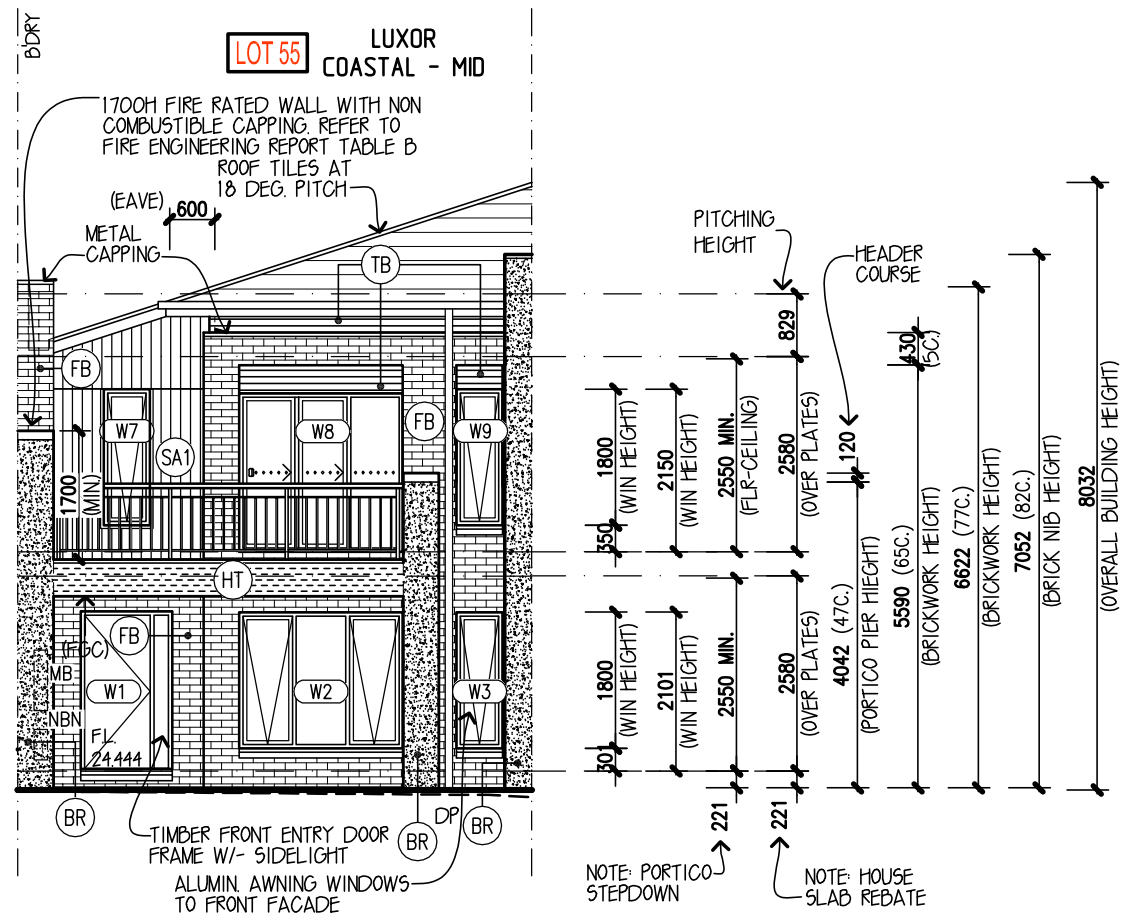
- NOTES LEGEND (1ST FLR):**
- ① "HEB 5000" HEBEL POWERPANEL DUAL ZERO B'DRY WALL SYSTEM, COMPRISING OF: 10MM PLASTERBOARD INTERNALLY, 70X45 STUD WALL, R20 INSULATION BATTS, HARDIE WRAP WEATHER BARRIER, 50MM HEBEL PANELS AND CAVITY IN BETWEEN, DESIGN AND INSTALLED TO MANUFACTURER'S RECOMMENDATION AND SPECIFICATION. PROVIDE ADDITIONAL LAYER OF PLASTERBOARD WHERE INDICATED.
 - ② 200MM MIN MINERAL WOOL BATT (TO EACH PROPERTY)
 - ③ EXTENT OF GROUND FLOOR BELOW
 - ④ 1000MM HIGH PLASTERBOARD DWARF WALL
 - ⑤ WHITE GLASS FIBRE COMPOSITE SHOWER BASE
 - ⑥ 245MM DEEP PLASTERED BULKHEAD
 - ⑦ SKYTUBE OVER
 - ⑧ TILED SHOWER BASE
 - ⑨ VELUX VS C06 1180MM X 550MM (MIN) OPENABLE SKYLIGHT

NOTE:
 - PROVIDE ROOF SARKING
 - ALL FLUES ROOF PENETRATIONS TO BE MIN. 900MM CLEAR FROM BOUNDARIES

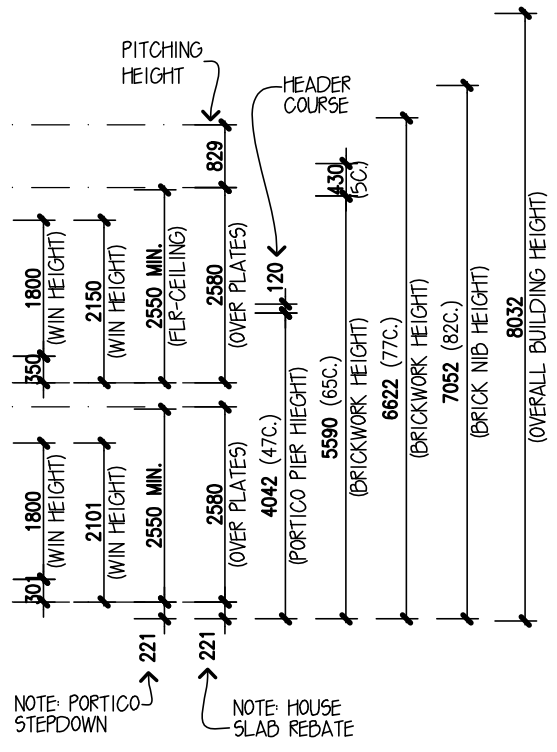
NOTE: PLUMBER TO SUPPLY TUNDISH TO VANITY BASIN CUPBOARD FOR LOTS WITH REVERSE CYCLE AIR CONDITIONING & IF REQUIRED TO LOTS WITH SPLIT SYSTEM AC HEAD TO FIRST FLOOR

FRAMER TO PROVIDE FLOOR JOISTS CUT TO SIZE FOR BULKHEADS

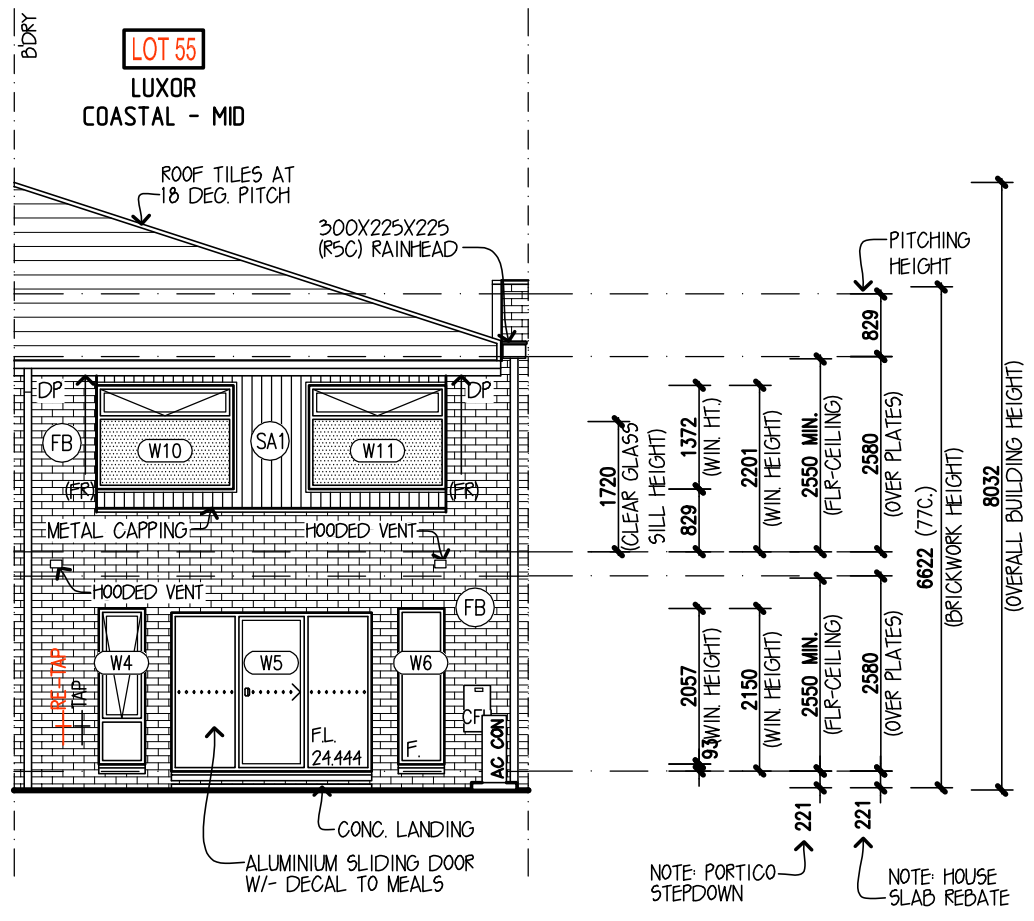
- 240MM BRICK VENEER WALL WITH 90MM STUDS & 40MM CAVITY
- WALL UNDER STAIR TO BE BUILT AFTER STAIR
- HATCH INDICATES 90MM FRAME
- HATCH INDICATES 70MM FRAME
- BOUNDARY LINE
- BULKHEAD
- (OBS) OBSCURE GLAZED OVERLOOKING WINDOWS
- (PR) PLASTER REVEAL



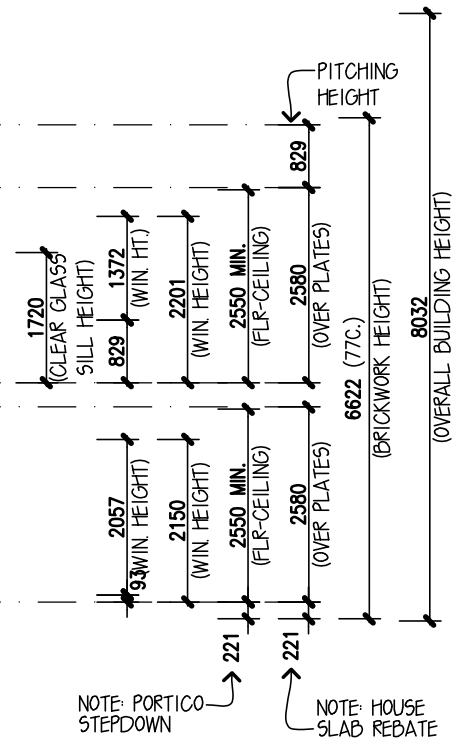
ELEVATION A



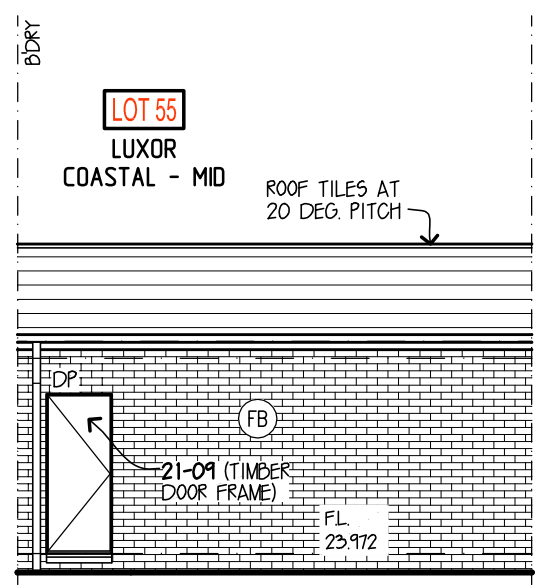
NOTE: PORTICO STEPDOWN
NOTE: HOUSE SLAB REDBATE



ELEVATION C

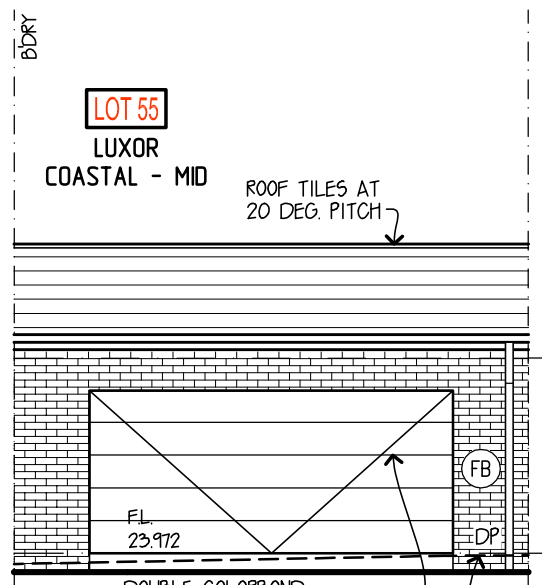


NOTE: PORTICO STEPDOWN
NOTE: HOUSE SLAB REDBATE



ELEVATION A - GARAGE

PROVIDE WINDOW LOCKS TO ALL OPENABLE WINDOWS
PROVIDE ALUMINIUM FRAMES FIBREMESH FLYSCREEN TO OPENABLE WINDOWS



ELEVATION C - GARAGE

HEBEL NOTES

- PROVIDE CONTROL JOINTS TO HEBEL PANELS AS FOLLOWS:
- VERTICAL CONTROL JOINTS AT 6.0M MAX. CENTRES
- VERTICAL CONTROL JOINTS AT INTERNAL & EXTERNAL CORNERS
- HORIZONTAL CONTROL JOINTS AT 1ST & 2ND FLOOR JUNCTION
- HORIZONTAL CONTROL JOINTS AT 3.9M MAX. HEIGHT.
- OPENINGS LESS THAN 2450MM - NO REQUIREMENTS
- OPENINGS BETWEEN 2450 / 3600MM WIDE PROVIDE CONTROL JOINT TO ONE SIDE ONLY.
- OPENINGS GREATER THAN 3600MM PROVIDE CONTROL JOINTS TO BOTH SIDES
- VERTICAL JOINTS TO ALL DOORS, INLC. SLIDING DOORS & GARAGE DOORS, REGARDLESS OF OPENING WIDTH
- WHERE HEBEL PANEL RETURN IS LESS THAN 270MM WIDE - PROVIDE 75MM THICK FOAM OR PROVIDE EXTRA SUPPORT (TOPHATS). CUT PANEL NEATLY WITH NO CRACKS OR CHIPS & APPLY REINFORCED FIBREGLASS MESH BEFORE BASE RENDER - TYPICAL

NOTES:
-PARAPET LEVELS TO MATCH & STREAMLINE TO NEIGHBOURING LOTS AS SHOWN

-TEMPORARILY CONNECT FRONT TAP/S AT METER LOCATION DURING CONSTRUCTION CAP AND RELOCATE TO HOUSE POSITION AS NOMINATED FOR HANDOVER

ADDITIONAL FLASHING NOTES:
-BUILDING WRAP ALSO TO BACK OF PARAPET TO NCC 3.5.4.8 - TYPICAL.
-WALL OPENINGS - TO NCC 3.5.4.6 INCLUDING FLASHING EXTENSIONS (ALL WINDOWS & DOORS MUST HAVE A FLASHING FIXED TO THE HEAD, SIDES, & SILL), FASTENING, OVERLAPPING AND SEALING OF ALL JOINTS. PROVIDE ADDITIONAL CAULKING TO SIDES OF WINDOWS. HEAD FLASHING NOT REQUIRED WHERE EAVE IS 3 X HEIGHT OF THE CLADDING ABOVE WINDOW/DOOR.
-CLADDING JUNCTIONS - FLASHING TO FALL TO OUTER EDGE. HIGHER CLADDING TO FINISH SHORT OF CLADDING BELOW IT MIN. 20MM.
-PARAPETS - CAPPING TO NCC 3.5.4.8. FALL TO ROOFING. WHERE JOINED OVERLAP MIN. 75MM & SEALANT TO BOTH EDGES OF LAP

FINISHES SCHEDULE

- (BR) BRICKWORK WITH ACRYLIC RENDER FINISH
- (SA1) SCYON 'AXON' 133 GROOVED LIGHT WEIGHT EXTERNAL CLADDING (REFER DETAIL 5-TYP-CLAD-07)
- (HT) JAMES HARDIE HARDIFLEX 6MM SHEET CLADDING WITH PAINTED FINISH (REFER DETAIL 5-TYP-CLAD-09)
- (FB) FACE BRICKWORK
- (TB) 38X17MM CEDAR BATTENS W/- PLY BACKING (REFER DETAIL 5-TYP-INFINI-TYPE F)
- ALL LIGHTWEIGHT CLADDING INCLUDES 35MM TIMBER BATTENS UNLESS OTHERWISE NOTED

NOTES:
ALL UPPER FLOOR BEDROOM WINDOWS TO BE RESTRICTED TO 125MM MAX. OPENING WHERE FALL EXCEEDS 2M FROM SILL HEIGHT.
WHERE SILL HEIGHTS ARE LOWER THAN 865MM FROM FLOOR LEVEL OR NEAREST SILL, BEDROOM WINDOWS ARE TO BE PERMANENTLY RESTRICTED.
WHERE SILL HEIGHTS ARE 1700MM OR HIGHER, NO RESTRICTIONS ARE REQUIRED

DESIGN: LUXOR - MID
ESSENTIAL SPEC
FACADE: COASTAL CEILING: 25L, 25U
GARAGE: DOUBLE LOCATION: REAR

ELEVATIONS
SCALE: 1:100

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TOWNLIVING **m** metricon

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OWNER: TOWN LIVING BY METRICON
LOT 55 BRONZE LEAF WALK, NARRE WARREN SOUTH
ESTATE: SILVERWELL (STAGE 9A)

MASTER VER:	-	DATE:	-
HOUSE INST:	-	DATE:	-
GENERAL INST:	-	DATE:	-
PROJECT REV:	REV F	DATE:	13.11.24
DRAWN:	MTEK/VW	CHECK:	-
		SHEET:	04

NOTES
 -PARAPET LEVELS TO MATCH & STREAMLINE TO NEIGHBOURING LOTS AS SHOWN

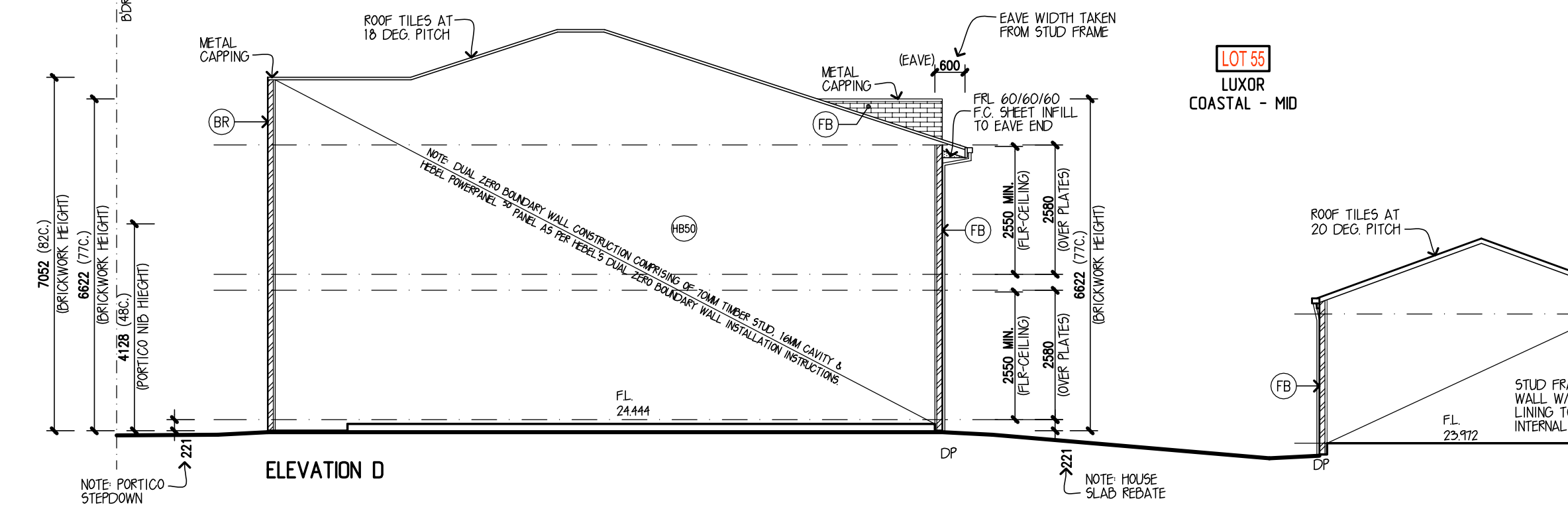
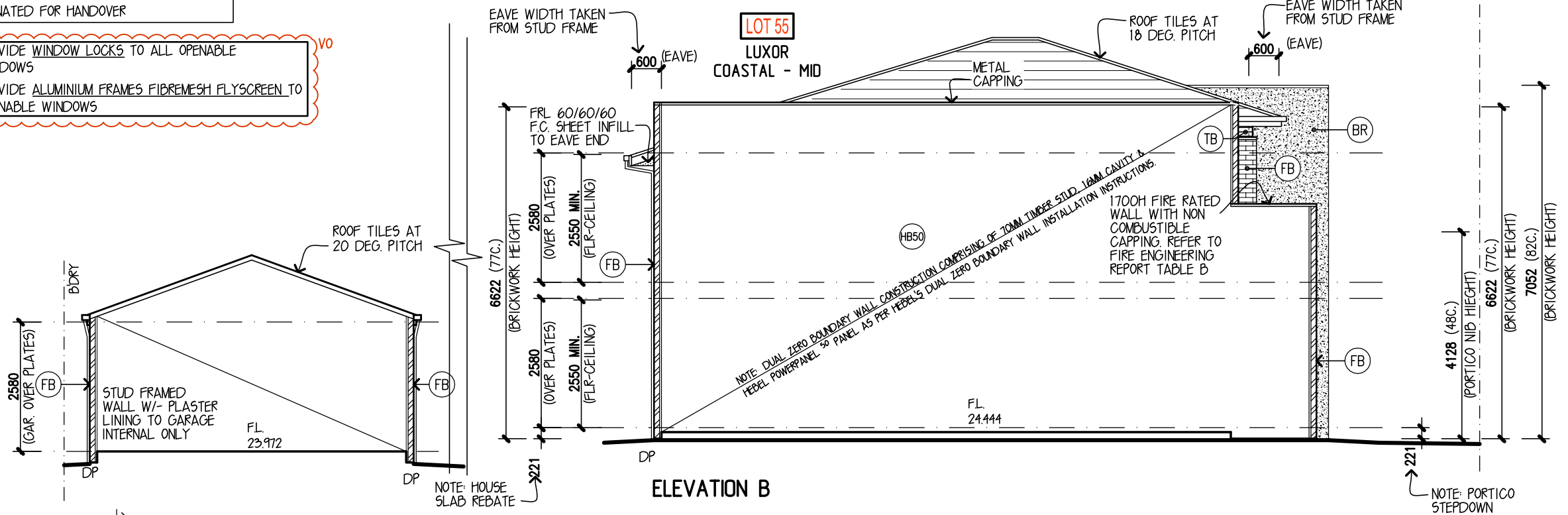
-TEMPORARILY CONNECT FRONT TAP/S AT METER LOCATION DURING CONSTRUCTION. CAP AND RELOCATE TO HOUSE POSITION AS NOMINATED FOR HANDOVER

PROVIDE WINDOW LOCKS TO ALL OPENABLE WINDOWS
 PROVIDE ALUMINIUM FRAMES FIBREMESH FLYSCREEN TO OPENABLE WINDOWS

HEBEL NOTES

- PROVIDE CONTROL JOINTS TO HEBEL PANELS AS FOLLOWS:
- VERTICAL CONTROL JOINTS AT 6.0M MAX. CENTRES
 - VERTICAL CONTROL JOINTS AT INTERNAL & EXTERNAL CORNERS
 - HORIZONTAL CONTROL JOINTS AT 1ST & 2ND FLOOR JUNCTION
 - HORIZONTAL CONTROL JOINTS AT 3.9M MAX. HEIGHT.
 - OPENINGS LESS THAN 2450MM - NO REQUIREMENTS
 - OPENINGS BETWEEN 2450 / 3600MM WIDE. PROVIDE CONTROL JOINT TO ONE SIDE ONLY.
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 - VERTICAL JOINTS TO ALL DOORS, INCL. SLIDING DOORS & GARAGE DOORS, REGARDLESS OF OPENING WIDTH
 - WHERE HEBEL PANEL RETURN IS LESS THAN 270MM WIDE - PROVIDE 75MM THICK FOAM OR PROVIDE EXTRA SUPPORT (TOPHATS). CUT PANEL NEATLY WITH NO CRACKS OR CHIPS & APPLY REINFORCED FIBREGLASS MESH BEFORE BASE RENDER - TYPICAL

ADDITIONAL FLASHING NOTES:
 -BUILDING WRAP ALSO TO BACK OF PARAPET TO NCC 3.5.4.8 - TYPICAL.
 -WALL OPENINGS - TO NCC 3.5.4.6 INCLUDING FLASHING EXTENSIONS (ALL WINDOWS & DOORS MUST HAVE A FLASHING FIXED TO THE HEAD, SIDES, & SILL), FASTENING, OVERLAPPING AND SEALING OF ALL JOINS. PROVIDE ADDITIONAL CAULKING TO SIDES OF WINDOWS. HEAD FLASHING NOT REQUIRED WHERE EAVE IS 3 X HEIGHT OF THE CLADDING ABOVE WINDOW/DOOR.
 -CLADDING JUNCTIONS - FLASHING TO FALL TO OUTER EDGE. HIGHER CLADDING TO FINISH SHORT OF CLADDING BELOW IT MIN. 20MM.
 -PARAPETS - CAPPING TO NCC 3.5.4.8. FALL TO ROOFING. WHERE JOINED OVERLAP MIN. 75MM & SEALANT TO BOTH EDGES OF LAP



FINISHES SCHEDULE

(BR)		BRICKWORK WITH ACRYLIC RENDER FINISH	(FB)		FACE BRICKWORK
(SA)		SCYON 'AXON' 133 GROOVED LIGHT WEIGHT EXTERNAL CLADDING (REFER DETAIL S-TYP-CLAD-07)	(TB)		38X17MM CEDAR BATTENS W/- PLY BACKING (REFER DETAIL S-TYP-INFINI-TYPE F)
(HT)		JAMES HARDIE HARDIFLEX 6MM SHEET CLADDING WITH PAINTED FINISH (REFER DETAIL S-TYP-CLAD-09)			ALL LIGHTWEIGHT CLADDING INCLUDES 35MM TIMBER BATTENS UNLESS OTHERWISE NOTED

NOTES:
 ALL UPPER FLOOR BEDROOM WINDOWS TO BE RESTRICTED TO 125MM MAX. OPENING WHERE FALL EXCEEDS 2M FROM SILL HEIGHT.
 WHERE SILL HEIGHTS ARE LOWER THAN 865MM FROM FLOOR LEVEL OR NEAREST SILL, BEDROOM WINDOWS ARE TO BE PERMANENTLY RESTRICTED.
 WHERE SILL HEIGHTS ARE 1700MM OR HIGHER, NO RESTRICTIONS ARE REQUIRED

DESIGN: **LUXOR - MID**
ESSENTIAL SPEC
 FACADE: **COASTAL** CEILING: **25L, 25U**
 GARAGE: **DOUBLE** LOCATION: **REAR**

ELEVATIONS
 SCALE: 1:100

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TOWNLIVING

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OWNER: **TOWN LIVING BY METRICON**
LOT 55 BRONZE LEAF WALK, NARRE WARREN SOUTH
ESTATE: SILVERWELL (STAGE 9A)

MASTER VER:	-	DATE:	-
HOUSE INST:	-	DATE:	-
GENERAL INST:	-	DATE:	-
PROJECT REV:	REV F	DATE:	13.11.24
DRAWN:	MTEK/VW	CHECK:	-
		SHEET:	05